



Figure C-8. Provide pedestrian amenities in commercial areas.

Section D: Building Design

D.1 Building Entries

Existing Standards

The primary building entrance shall be oriented to the major street on which the building has frontage, a street corner, plaza, park, or other buildings on the site. The building may have other entrances as long as direct pedestrian access is provided to all entrances. *(Replace.)*

Intent

- ◆ *To make building entrances convenient to locate and easy to access.*
- ◆ *To ensure that building entries further the pedestrian nature of the fronting sidewalk.*

Standards

- D.1.1 Primary building and business entrances shall be prominent, visible from surrounding streets or publicly accessible open space, and connected by a walkway to the public sidewalk.
- D.1.2 Entries from parking lots should be subordinate to those related to the street for buildings with frontage on streets.
- D.1.3 Weather protection at least four and one-half (4-1/2) feet wide and proportional to the distance above ground level shall be provided over the primary entry of all buildings, businesses, and residential units.
- D.1.4 Pedestrian pathways from public sidewalks to primary entrances, or from parking lots to primary entrances, shall be accessible, conforming to federal and state Americans with Disabilities Act requirements, and shall be clearly delineated.



Figure D-1. Prominent building entrance example.

- D.1.5 Ground floor residential units shall be directly accessible from the street or an open space, such as a courtyard or garden, that is accessible from the street.
- D.1.6 Secondary business access (not fronting on a street) should have weather protection over the entrance or other similar indicator of access.
- D.1.7 Townhomes and all other multifamily dwelling units with private exterior ground-floor entries shall provide at least 20 square feet of landscaping adjacent to the entry. This is particularly important for units where the primary entrance is next to private garages off an interior access road. Such landscaping areas soften the appearance of the building and highlight individual entries. See Figures D-3 and D-4 for good and bad examples.



Figure D-2. Ground floor residential units directly accessible to the street.



Figures D-3 and D-4. Good (right) and bad (above) examples of townhouse entry treatments.

D. Building Design



Figures D-5 and D-6. Front (top) and back (bottom) entrances of a retail building sited adjacent to a public street. While the sidewalk entrance is designed as the primary entrance, the back entry includes weather protection and use of decorative building materials to enhance the entry.

D.1.8 Secondary Public Access. Whereas these design standards require businesses on a pedestrian-oriented street to front on streets rather than parking lots, a large number of customers use the “secondary” entry off of the parking lot. Such businesses that have secondary public access shall comply with the following measures to enhance secondary public access (applies only to entries used by the public):

- a. Weather protection at least 3’ deep is required over each secondary entry.
- b. A sign may be applied to the awning provided that the sign complies with CCC ____.
- c. Two or more of the following design elements shall be incorporated within or adjacent to the secondary entry:
 - (1) A transparent window or door to allow visibility into the business;
 - (2) A landscaping bed, planter box, or trellis incorporating landscaping adjacent to the entry;
 - (3) Decorative architectural treatments that add visual interest to the entry;
 - (4) Outdoor dining area or pedestrian-oriented space;
 - (5) Decorative lighting;
 - (6) Other design elements that meet the **intent** per the responsible official; or
 - (7) Plant containers (planters) that allow for a minimum 4’ passage on walks serving the public access. Planters shall be maintained with viable plant materials or removed.

D.2 Architectural Scale

Existing Standards

At intervals of not more than every fifteen linear feet, measured both vertically and horizontally, for every new or reconstructed building facing a public street or pedestrian way there shall be interest-creating features such as pedestrian entrances, relief's, murals, landscaping, transparent show or display windows, or windows affording views into retail, office or lobby spaces. *(Replace with standards below.)*

Intent

- ◆ *To reduce the scale of large buildings and add visual interest.*

Standards

D.2.1 Non-residential and mixed-use buildings shall include at least three of the following modulation and/or articulation features along all facades containing the public building entries (alley facades are exempt) at intervals of no more than 40 feet for pedestrian-oriented streets and 70 feet for all other streets:

- Repeating distinctive window patterns at intervals less than the articulation interval.
- Horizontal building modulation (depth at least 2 feet, width at least 4 feet, and preferably tied to roofline modulation).
- A separate covered entry or separate weather protection feature for each articulation interval.
- Change of roofline.
- Change in building material or siding style (perhaps coordinated with a change in building color).
- Lighting fixtures, trellis, tree, or other landscape feature within each interval.
- Alternative methods that meet the Intent of the standards, used at the required intervals, as approved by the responsible official.

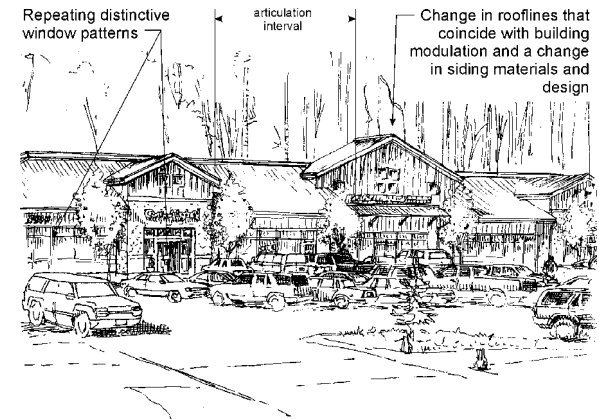


Figure D-7. Example of building articulation.



Figure D-8. This building utilizes a number of methods to reduce its perceived bulk.

D. Building Design

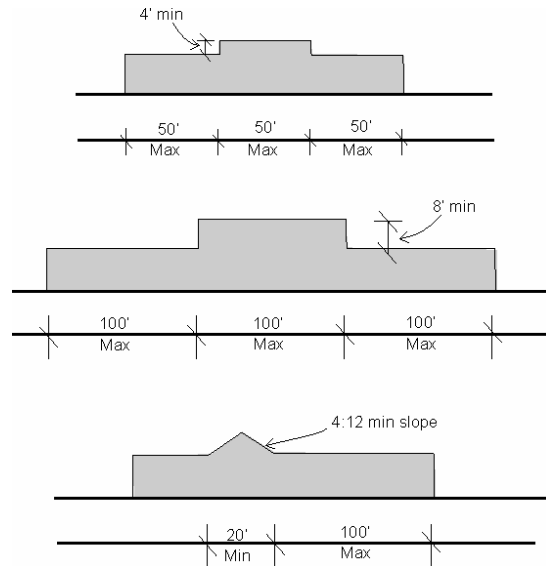


Figure D-9. Roofline standards for non-residential and mixed-use buildings.

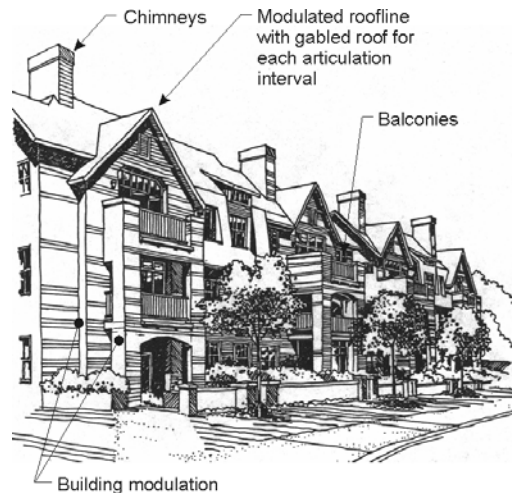


Figure D-10. Example of modulation for multifamily buildings.

D.2.2 Nonresidential and mixed-use building rooflines visible from a public street, open space, or public parking area shall be varied by emphasizing dormers, chimneys, stepped roofs, gables, prominent cornice or fascia, or a broken or articulated roofline. The width of any continuous flat roofline should extend no more than 100 feet without modulation. Modulation should consist of either:

- A change in elevation of the visible roofline of at least 4 feet if the particular roof segment is less than 50 feet wide and at least 8 feet if the particular roof segment is greater than 50 feet in length. Exception: The responsible official may reduce or eliminate these requirements where other treatments are successfully used to meet the Intent of the standards.
- A sloped or gabled roofline segment of at least 20 feet in width and no less than 4 feet vertical in 12 feet horizontal.
- A combination of the above.

(NOTE: Hipped roof forms are less effective than gabled roof forms in reducing the apparent scale of buildings and thus are discouraged.)

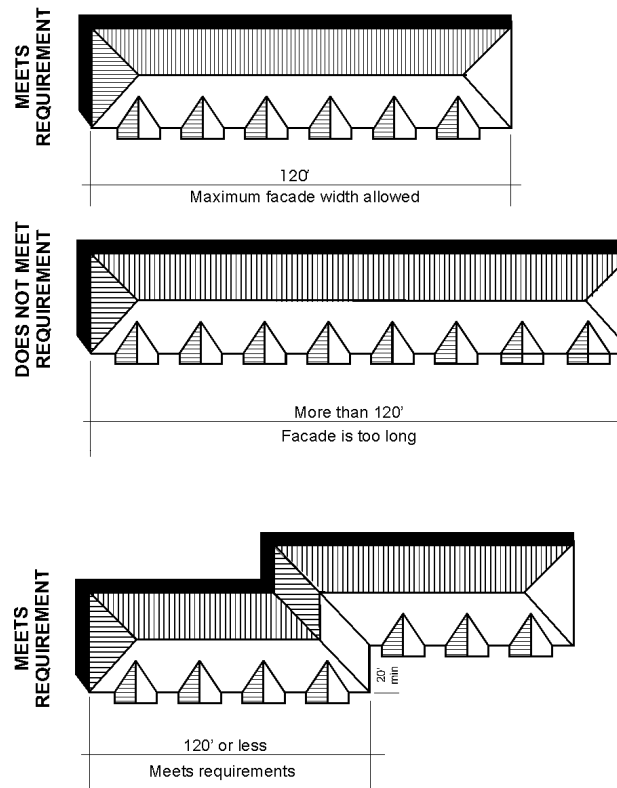
D.2.3 Multifamily residential buildings shall include building modulation. New building facades visible from the public and private streets, common open space, and common parking areas shall be articulated with windows, balconies, bay windows, or other architectural elements. Building articulation shall be accomplished with design elements such as the following, so long as the articulation interval does not exceed 30 feet:

- a. Horizontal building modulation. Specifically:
 - The maximum facade width (as measured horizontally along the building exterior) without building modulation shall be 30 feet.
 - The minimum depth of modulation shall be 2 feet. The minimum width of modulation shall be 10 feet.
- b. Bay windows may be used as all or part of the required modulation required above so long as they are tied to changes in the roofline.

- c. Balconies that project at least 2 feet beyond the façade of the building may be used as part of the required building modulation as long as they are integrated into the architecture of the building. For example, balconies could be tied to changes in the roofline. Individual balconies shall be at least 35 square feet in size with no dimension less than 4 feet to qualify for this option. Simple balconies that are attached onto a square building and not integrated into the architecture of the building are not acceptable.

- D.2.4 The maximum façade width (the façade includes the apparent width of the structure facing the street and includes required modulation) of multifamily residential buildings and residential floors of mixed-use buildings is 120 feet. Buildings exceeding 120 feet in width along the street front shall be divided by a modulation of the exterior wall, so that the maximum length of a particular façade is 120 feet. Such modulation shall be at least 20 feet or deeper and extend through all residential floors.

- D.2.5 Changes in color tied with building modulation can help reduce the scale and add visual interest.



This building exceeding 120 feet in width along the street front, but is divided by modulations of the exterior walls, so that the maximum length of a particular façade is 120 feet or less. Such modulation must be at least 20 feet or deeper and extend through all floors (floors containing non-residential uses are exempt).



Figure D-11. An example of balconies integrated with the architecture of the building.

Figure D-12. Requirements for façade length.



Figure D-13. Decorative use of building materials, lighting, signage, and landscaping creates a statement at this corner location.



Figure D-14. This streetfront provides a number of details that enhance the pedestrian environment, including decorative lighting, planter boxes, decorative awnings, and other decorative facade elements.

D.3 Building Details (including entries and corners)

Existing Standards

At intervals of not more than every fifteen linear feet, measured both vertically and horizontally, for every new or reconstructed building facing a public street or pedestrian way there shall be interest-creating features such as pedestrian entrances, relief's, murals, landscaping, transparent show or display windows, or windows affording views into retail, office or lobby spaces.

Intent

- ◆ To encourage the incorporation of design details and small-scale elements into building facades that are attractive at a pedestrian scale.
- ◆ To create visual interest and increased activity at public street corners.

Standards

- D.3.1 Ground floor expression: All storefronts or other nonresidential uses shall be enhanced with appropriate details; specifically, at least four of the following elements shall be included on their primary facades subject to approval by the responsible official:
- Decorative pedestrian-oriented signage.
 - Artwork incorporated into the building façade or entry area.
 - Recessed entry.
 - Decorative door.
 - Transom windows and/or decorative treatment of windows.
 - Decorative weather protection feature(s).

- Landscaped trellises or other decorative element that incorporates landscaping near the building entry. Element shall be integrated into the building and not a simple potted plant.
- Decorative light fixtures.
- Decorative building materials and/or trim work. This could include decorative stone, tile, or wood-work, decorative kickplates, or other methods that meet the Intent statement above.
- Other details as approved by the responsible official that meet the Intent of the standards.

D.3.2 All new buildings located within 15 feet of a property line, at the intersection of streets, public or private, are required to employ two or more of the following design elements or treatments to the building corner facing the intersection:

- Provide at least 100 SF of *pedestrian-oriented space* between the street corner and the building(s). To qualify for this option, the building(s) shall have direct access to the space,
- Provide a corner entrance to *courtyard*, building lobby, atrium, or pedestrian pathway,
- Include a corner architectural element such as:
 - *Bay window* or *turret*;
 - *Roof deck* or *balconies* on upper stories;
 - Building core setback "notch" or curved *façade* surfaces; or
 - *Sculpture* or *artwork*, either *bas-relief*, figurative, or distinctive use of materials.
- Special treatment of the pedestrian weather protection canopy at the corner of the building; and/or
- Other similar treatment or element approved by the responsible official.

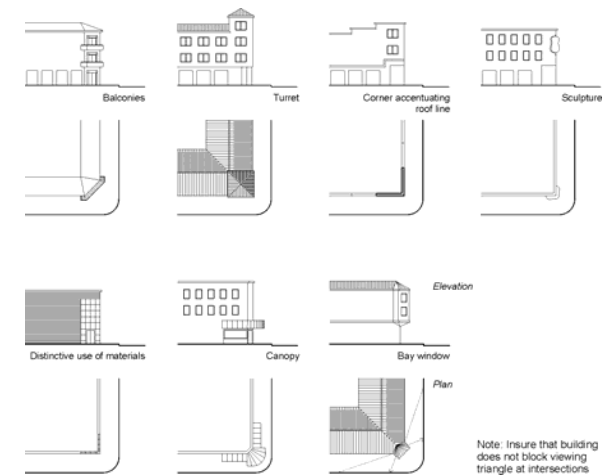


Figure D-15. Corner building treatments.

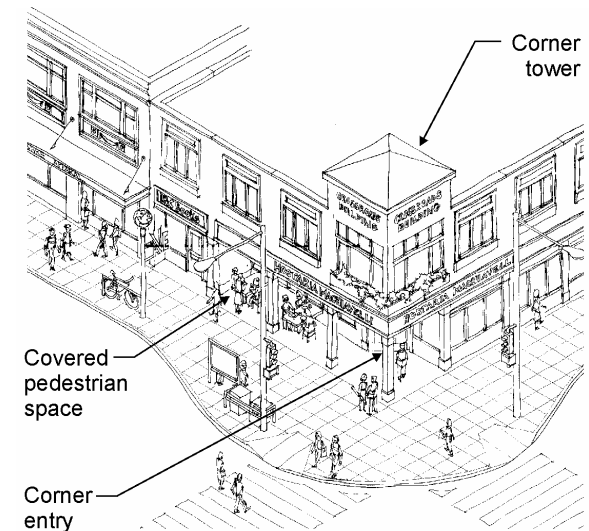


Figure D-16. Corner building example.

D.4 Building Materials and Color

Existing Standards

No related standards.

Intent

- ◆ *To encourage high-quality building materials that enhance the character of the area.*
- ◆ *To discourage poor materials with high life-cycle costs.*
- ◆ *To encourage the use of materials that reduce the visual bulk of large buildings.*
- ◆ *To encourage the use of materials that add visual interest to the neighborhood.*

Standards

- D.4.1 If metal siding is used, it shall have visible corner moldings and trim and incorporate masonry or other similar durable/permanent material near the ground level (first 2 feet above sidewalk or ground level).
- D.4.2 When used for the façade of any building, concrete blocks shall be split, rock- or ground-faced and limited to 30 percent of the facade area. The responsible official shall allow a higher percentage through the use of a specialized textures and/or colors used effectively with other building materials and details in a way that meets the Intent of the standards.
- D.4.3 Concrete block walls should be enhanced with integral color, textured blocks and colored mortar, decorative bond pattern and/or incorporate other masonry materials.



Figure D-17. Buildings with metal siding shall have visible corner moldings and trim and incorporate masonry near the ground level.

D.4.4 Requirements for Exterior Insulation and Finish System (EIFS) and similar troweled finishes:

- a. EIFS shall be trimmed in wood or masonry and shall be sheltered from extreme weather by roof overhangs or other methods.
- b. EIFS may only be used in conjunction with other approved building materials. Generally, the use of EIFS for more than 50 percent of the building facade is discouraged.
- c. EIFS is prohibited within 2 vertical feet of the sidewalk or ground level. Masonry or other similar durable/permanent materials shall be used.

D.4.5 Prohibited materials include the following:

- Mirror glass covering more than 10 percent of the exterior of the building.
- Textured or scored plywood (including T-111 or similar plywood).
- Stucco board.

D.4.6 Use of material variations such as colors, brick or metal banding or patterns, or textural changes is encouraged.



Figure D-18. This storefront effectively combines EIFS and concrete block with wood trim and metal detailing.

Section E: Landscaping and Screening

E.1 Landscaping

Existing Standards

- 40.320.010 Landscaping and Screening on Private Property. Standards of Landscape types; Landscaping and screening requirements for storage and equipment areas; Landscaping and screening for parking and loading areas; Standards for retaining walls and fences; Timing, selection, installation, maintenance, and irrigation standards; Plant list; Verification of the installation of required landscape
- At least fifteen percent (15 percent) of the square footage of the site shall be landscaped.

Intent

- ◆ *To encourage the use of attractive and drought tolerant plant materials native to the coastal regions of the Pacific Northwest.*
- ◆ *To encourage attractive landscaping that reinforces the architectural and site planning concepts in response to site conditions and contexts.*
- ◆ *To promote tree retention and the protection of existing native vegetation.*

Standards

- E.1.1 Projects shall meet the requirements of CCC Section 40.320.010 (Landscaping and Screening on Private Property) unless otherwise directed herein.
- E.1.2 The required Landscape Plan per CCC Section 40.320.030 shall be prepared by a licensed landscape architect or Washington-certified Professional Horticulturalist (CPH).



Figures E-1 and E-2. Landscape design and materials add color and identity to these developments.

E.1.3 Parking lots located adjacent to public streets and major internal roadways shall be partially screened with landscaping planters (per Standard E.1.4 below) at the following widths:

- 15 feet for arterials.
- 10 feet for collectors.
- 6 feet for all other streets and roads.

The responsible official may approve and condition reduced planter widths provided the design meets the Intent of the standards. For example, reduced widths may be allowed provided the landscaped area is supplemented with architectural features that help to define the street edge and maintain visual continuity along the street. Examples could include a decorative low wall made of stone or masonry that is used in conjunction with landscaping, and/or use of a landscaped trellis or architectural columns. For each method, it is important to maintain visibility at eye level (between 3 and 8 feet above the ground) between the street into the parking lot for safety.

E.1.4 Internal and perimeter parking lot planting areas (where adjacent to a street) shall be planted as follows:

- Minimum planting areas:

Total number of parking spaces	Minimum required landscaped area
15-50	15 square feet/parking space
51-99	25 square feet/parking space
100 or more	35 square feet/parking space

Parking lots containing less than 15 spaces are only required to meet perimeter landscaping requirements in E.1.2 and/or CCC Section 40.320.010.

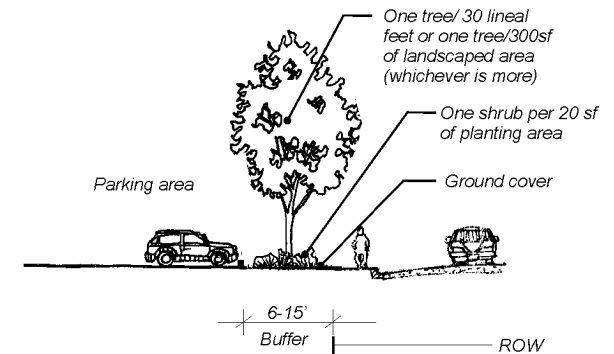


Figure E-3. Landscaping standards for parking lot screening.

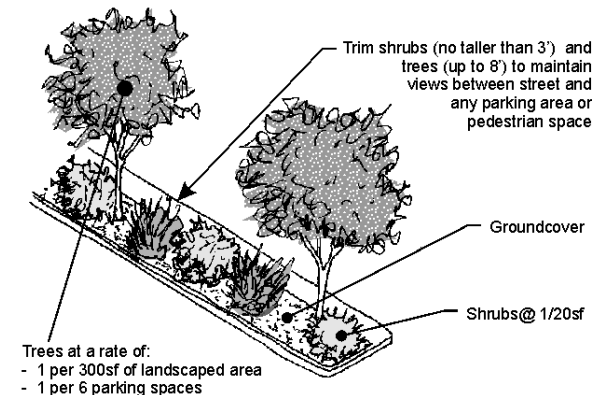


Figure E-4. Internal parking lot landscaping standards.

E. Landscaping and Screening



Figure E-5. Poor quality landscaping (use of a single plant type, no trees, insufficient ground cover) degrades the visual quality of this development.

- b. Trees: One tree per 30 lineal feet of street frontage or one tree for each 300 square feet of landscaped area (whichever is more). At least one tree for every six parking spaces shall be provided (this excludes trees in the required perimeter areas). Utilize canopy trees per the Standard Details Manual – Roadway Planting Materials Table.
- c. Shrubs: One shrub per 20 square feet of planting area. Utilize shrubs that reach of mature height of no more than 3 feet to maintain safe visibility in parking lots.
- d. Ground covers: Shall be planted in sufficient quantities to provide full coverage of the landscaped area within three years of installation.

The responsible official may approve and condition alternative landscaping designs that meet the Intent of the standards.

- E.1.5 Projects are encouraged to use informal arrangement of plants installed in a variety of treatments that will enhance building designs, screen unwanted views, and enhance views and vistas. A formal arrangement may be acceptable if it has enough variety in layout and plants. Contiguous, long, unbroken, straight rows of a single plant should be avoided where possible.

E.2 Screening Elements

Intent

- ◆ *To minimize the negative visual impacts of fences on the street and pedestrian environment.*
- ◆ *To screen the potential negative impacts of service elements (ie waste receptacles, loading docks).*
- ◆ *To encourage thoughtful siting of service and storage elements that balance the need for service and storage with the desire to screen its negative impacts.*

Standards

- E.2.1 Developments shall avoid configurations that have uses that back up against a street. Where unavoidable, fences between a street and any use shall be limited to 3-1/2 feet in height.
- E.2.2 Service elements shall be located and designed to minimize the impacts on the pedestrian environment and adjacent uses. Service elements should generally be concentrated and located where they are accessible to service vehicles and convenient for tenant use.
- E.2.3 Roof-mounted mechanical equipment shall be located so as not to be visible from the street, public open space, parking areas, or from the ground level of adjacent properties. Screening features should blend with the architectural character of the building.

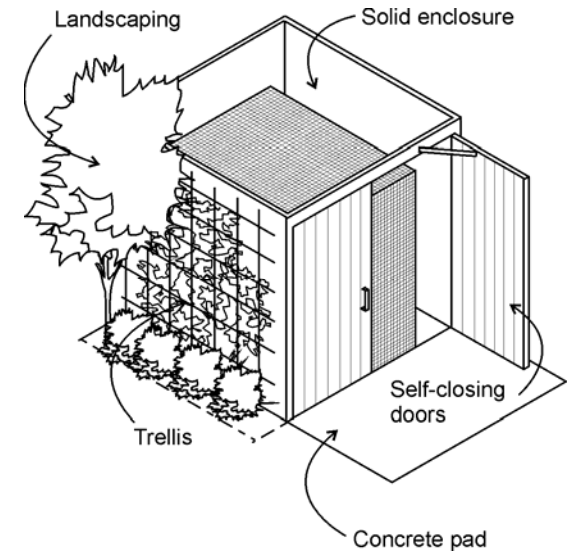


Figure E-6. Trash receptacle screening example.

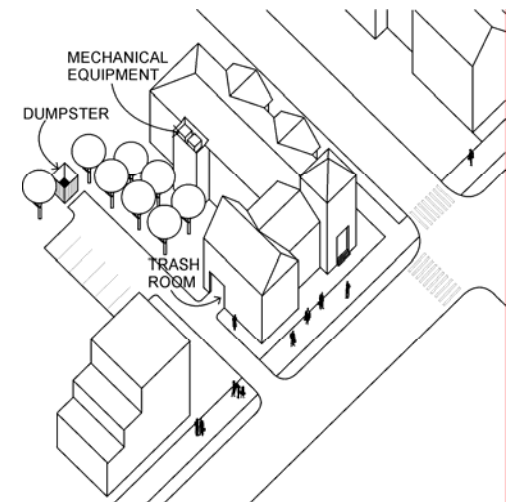


Figure E-7. Locate service elements to minimize impacts on the pedestrian

Section F: Signage

Existing Standards

- CCC 40.310.010 and Table 40.310.010-3 applicable to the Mixed Use district.

Intent

- ◆ *To encourage signage that is both clear and of appropriate scale for the project.*
- ◆ *To enhance the visual qualities of signage through the use of complementary sizes, shapes, colors, and methods of illumination.*
- ◆ *To encourage quality signage that contributes to the character of the area.*

Standards

F.1 Permitted signs for commercial uses include

a. Window Signs. Window signs meeting the following conditions are allowed for commercial uses:

- Maximum size: Permanent and temporary window signs are limited to a maximum of 25 percent of the window area. Every effort should be made to integrate window signs with window display.
- Materials: Window signs constructed of neon, stained glass, gold leaf, cut vinyl, and etched glass are allowed. Painted signs shall display the highest level of quality and permanence as determined by the responsible official.
- An internally lit neon or stained glass window sign is allowed.

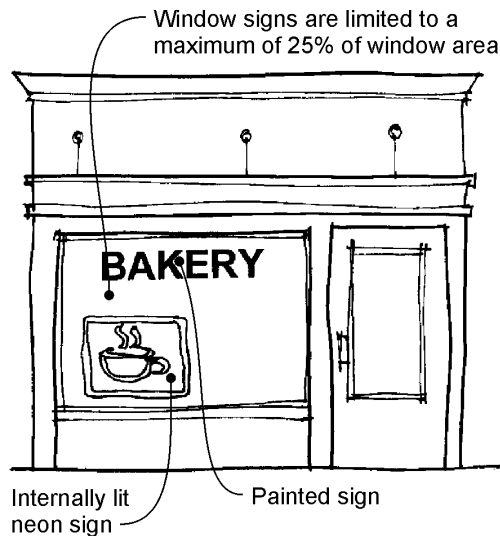


Figure F-1. Illustration of window signs.

- b. **Freestanding Signs.** Freestanding signs shall conform to the requirements of Table F-1 and the design requirements below. (Where a small letter appears in a caption in the chart, refer to the corresponding Note below.)

Table F-1. Commercial Use Freestanding Sign Requirements

Requirements ^{a, b}	Single + Multi-Tenant Developments (up to 25,000 sf)	Single + Multi-Tenant Developments (25,000 sf or more)	Single + Multi-Tenant Developments (50,000 sf or more)
Height Limit	42"	6'	6'
Maximum Size Limit	20sf	30sf	40sf
Minimum Setback	5'	5'	5'
Landscaping ^c	1 sf of landscaping per 1 sf of sign face	1 sf of landscaping per 1 sf of sign face	1 sf of landscaping per 1 sf of sign face
Minimum Separation ^d	150'	150'	150'

Notes:

- A minimum lettering height of four inches is recommended for readability.
- All freestanding signs shall include the street address number(s) with six-inch minimum lettering that is clearly readable from the street.
- Landscaping includes a decorative combination of ground cover and shrubs to provide seasonal interest in the area surrounding the sign. Landscaping shall be well maintained at all times of the year. The responsible official may reduce the landscaping requirement where the signage incorporates stone, brick, or other decorative materials.
- An individual building, development, or complex may not display more than one freestanding sign on each street frontage. However, a second freestanding sign can be used on the site as long as it advertises a different business onsite and it can be placed at least 150 feet from the first sign.

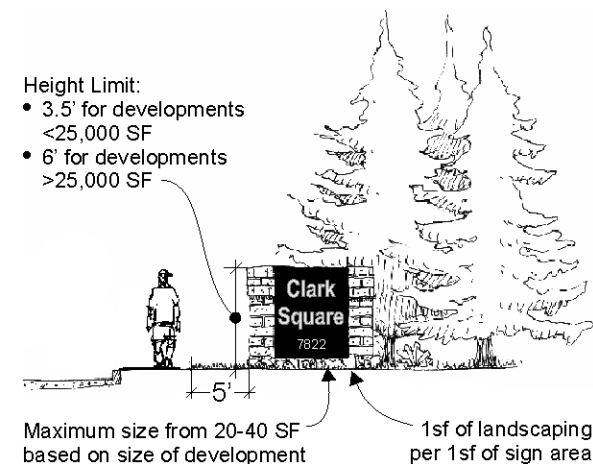


Figure F-2. Freestanding sign standards.

F. Signage

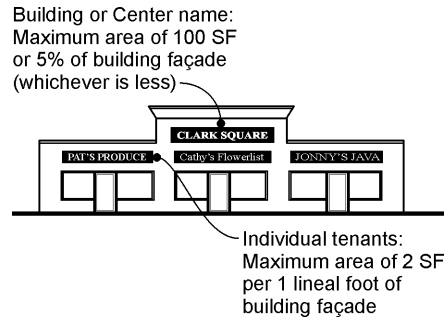


Figure F-3. Dimensional requirements for wall signs.



Figure F-4. Signs without internal lighting may contain a sign area of up to 10 percent of the façade, provided they are in proportion with the façade

c. Wall Signs. Wall signs shall be designed and located appropriate to the building's architecture. For example, wall signs should not cover windows, building trim or ornamentation.

- Tenants are allowed a maximum of one wall sign per facade that contains public entry, up to a maximum of two facades, unless otherwise approved by the responsible official.
- Maximum size – individual business: Sign area shall not exceed 2 square feet for each lineal foot of the structure's primary facade (the facade facing the street or as identified by the responsible official). Signs without internal lighting may contain a sign area of up to 10 percent of the facade, provided they are in proportion with the facade. Businesses located adjacent to street corners and containing pedestrian entries from both streets may feature wall signs not exceeding 2 square feet for each lineal foot of building frontage on applicable street facing facades. Businesses may include wall signs not exceeding 1 square foot for each lineal frontage of secondary facades facing a walkway, public plaza, or parking lot as long as the facade contains a pedestrian entry.
- Maximum size – building or center name: A wall sign up to 100 square feet or 5 percent (which ever is less) to identify the name of the building or shopping center.
- Maximum size – joint business directory: A wall sign up to 50 square feet for joint business directory signs identifying the occupants of a commercial building and located next to the entrance.
- Maximum height: Wall signs may not extend above the building parapet, soffit, the eave line or the roof of the building, or the window sill of the second story.
- Mounting: Building signs shall be mounted plumb with the building, with a maximum protrusion of 1 foot unless the sign incorporates sculptural elements or architectural devices. The sign frame shall be concealed or integrated into the building's architectural character in terms of form, color, and materials.
- Lettering: The maximum height for lettering is 3 feet. The maximum height for logos is 4 feet. Greater heights for lettering and logos may be approved by the responsible official when located and designed appropriate for the building.

- If applicant demonstrates to the satisfaction of the responsible official that a wall sign is creative, artistic and an integral part of the architecture, the responsible official may waive the above restrictions.
- d. **Projecting Signs.** Projecting signs meeting the following conditions are allowed for commercial uses adjacent to and facing a public street.
- Clearance: Shall clear sidewalk by 8 feet.
 - Projection: Shall not project more than 4 feet from the building facade, unless the sign is a part of a permanent marquee or awning over the sidewalk.
 - Height: Shall not extend above the building parapet, soffit, the eave line or the roof of the building.
- e. **Marquee Signs.** Marquee signs may be used in place of permitted wall signs, provided they meet the following conditions:
- Maximum size. The sign area shall not exceed 65 percent of the vertical face of the marquee, canopy, or awning.
 - Maximum height. The height of a vertical face (valance) of a marquee, canopy, or awning shall not exceed one foot. Signage shall not be placed on the sloping portion of a canopy or awning.
 - Clearance. The marquee, canopy, or awnings shall be placed a minimum of 8 feet above the sidewalk or walkway.
- f. **Under-Marquee Signs.** Under-marquee signs meeting the following conditions are allowed for commercial uses:
- Projection: Under-marquee signs shall have 1 foot minimum between the sign and the outer edge of the marquee, awning, or canopy and between the sign and the building facade.
 - Clearance: Under-marquee signs shall maintain a minimum clearance of 8 feet between the walkway and the bottom of the sign.
 - Vertical dimension: Under marquee signs shall not exceed 2 feet in height.

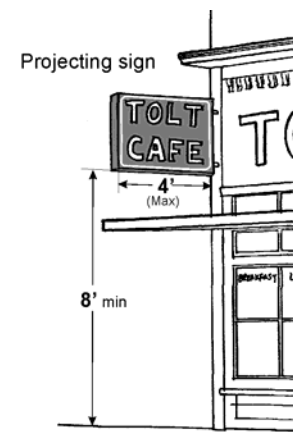


Figure F-5.
Dimensional
requirements for
projecting signs.

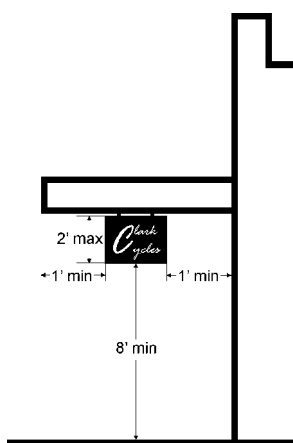


Figure F-7.
Dimensional
requirements for
under-marquee
signs.

F. Signage



Figure F-8. Back-lit signs with letters or graphics on a plastic sheet (can signs) are not permitted.

F.2 Prohibited signs include:

- Pole-mounted signs.
- Back-lit signs with letters or graphics on a plastic sheet (can signs).
- Signs employing moving or flashing lights.
- Signs employing exposed electrical conduits.
- Visible ballast boxes or other equipment.
- Changeable letter signage, except for cinemas and community centers.



Figure F-9: Acceptable signage examples.

Section G: Single-Family/ Duplex Developments

G.1 Subdivision Design and Site Layout

Intent

- ◆ *To ensure that single family developments are compact, pedestrian friendly, and contribute to the character the surrounding neighborhood.*
- ◆ *Create variety and interest in the appearance of residential streets.*
- ◆ *To integrate open space with single family developments.*
- ◆ *Protect significant features of the natural environment.*

Standards

G.1.1 Development of “Neighborhoods.” New detached single-family/duplex subdivisions shall be designed to integrate with the larger mixed-use development and with surrounding properties and neighborhoods. Subdivisions shall be designed so that individual, separately developed projects work together to create distinct neighborhoods, instead of disjointed or isolated enclaves. To accomplish this, such developments shall comply with the following standards:

- A.1.4 regarding open space.
- B.1.3 regarding cross circulation.
- B.2.2 regarding street design.
- G.2 regarding lot and building design.

- G.1.2 Cul-de-sac streets. The use of cul-de-sac streets should be avoided wherever possible and shall be limited to 10 percent of total lane miles in a development unless the applicant can successfully demonstrate that an alternative circulation pattern is not feasible. If cul-de-sacs are necessary, the end of each cul-de-sac shall provide a pedestrian walkway and bikeway between private parcels to link with an adjacent cul-de-sac, street, and/or park, school, or open space area, as determined by the responsible official.
- G.1.3 Alleys. The use of alleys is strongly encouraged to minimize the appearance of garages from the street. For developments with more than 50 single family dwelling units, at least 50 percent of the homes shall be served by alleys.



Figures G-1 and G-2. The use of alleys is strongly encouraged. Accommodating vehicular access in an alley allows for more front yard landscaping elements and a generous front porch.

G.2 Lot and Building Design

Intent

- ◆ To enhance the character of the street.
- ◆ To enhanced pedestrian access and walking.
- ◆ To encourage interaction among neighbors.
- ◆ To minimize the impact of vehicular access on the streetscape.
- ◆ To ensure that new homes are built to a scale that is appropriate for the size of the lot.
- ◆ To ensure privacy of residents and adjacent properties.
- ◆ To provide usable open space in the rear yard for residents.
- ◆ To provide flexibility where unique site conditions exist.

Standards

G.2.1 Porches or other covered and nonhabitable entry features at least 4 feet by 6 feet facing a public street are required for each single-family home and individual duplex unit. Such entry features may project up to 6 feet into the required front yard.

(NOTE: THIS PROVISION PROVIDES INCENTIVES FOR PORCHES WITHOUT TAKING UP BUILDING ENVELOPE SPACE FOR THE DWELLING UNIT.)

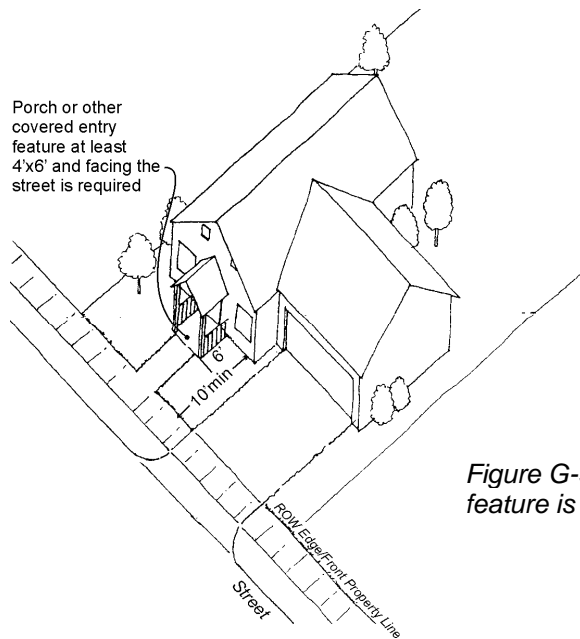


Figure G-3. A front porch or other covered entry feature is required.

G.2.2 Garages shall be set back a minimum of 18 feet from the designated front property line, except where the garage does not face the street. The garage face shall occupy no more than 50 percent of the ground-level façade facing the street.

G.2.3 Where lots front on a public street and where vehicular access is from the street, garages or carports shall be set back at least 5 feet more than any front wall of the dwelling unit facing the street (as measured from the front property line). Exceptions:

- The roof, eaves, or canopy of garages or carports may project to align with the front wall of the dwelling unit.
- Where garages face to the side or rear yard, they may be placed to align with the front wall of the dwelling unit, provided the garage includes a window facing the street so that it appears habitable.

On corner lots, this standard shall only apply to the designated front yard.

G.2.4 Where lots abut an alley, the garage or off-street parking area shall take access from the alley, unless precluded by steep topography.

G.2.5 Driveway standards:

- No more than one driveway per dwelling unit. (Separate driveways for ADUs are not permitted.)
- Driveways for individual lots 50 feet or wider may be up to 20 feet in width.
- Driveways for individual lots less than 50 feet wide may be up to 12 feet in width. Tandem parking configurations may be used to accommodate larger garages.

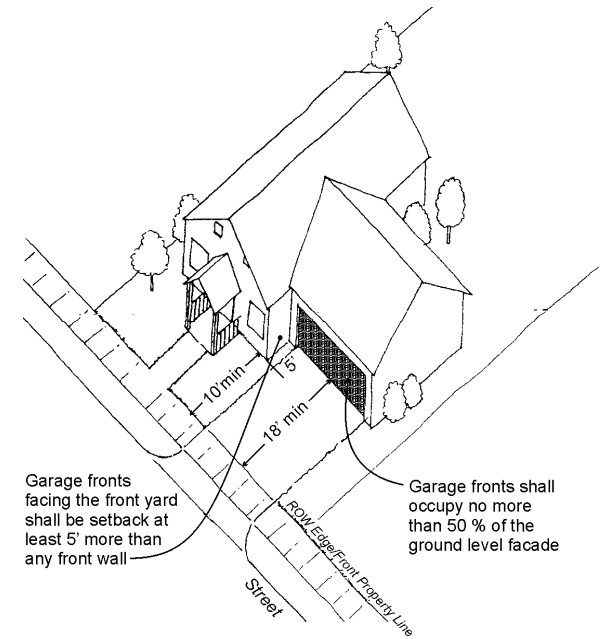


Figure G-4. Design standards for garages.

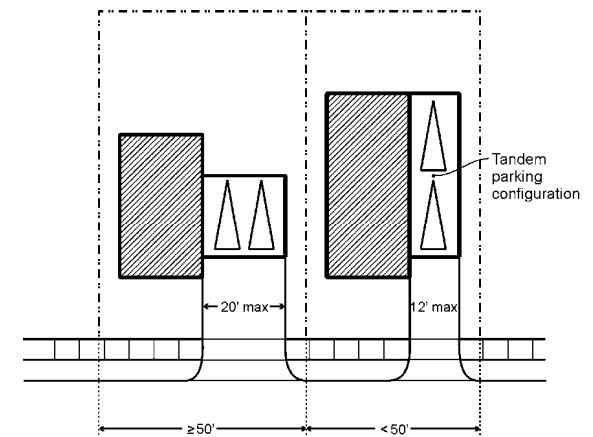


Figure G-5. Illustration of driveway standards.

G.3 Accessory Dwelling Unit (ADU)

Intent

- ◆ To ensure that ADUs minimize negative impacts to the neighborhood.
- ◆ To provide opportunities for affordable housing.

Standards

G.3.1 Accessory dwelling units are subject to all development standards for detached single-family dwelling units as well as those listed below. PROPERTIES WITH ADU'S WOULD STILL BE SUBJECT TO THE 0.45 FAR MAXIMUM, THUS RESTRICTING THE BULK OF THE STRUCTURE OR STRUCTURES ON A GIVEN LOT. MANY OF THE RECOMMENDED STANDARDS BELOW ALREADY APPLY FOR AADU'S AND COULD BE APPLICABLE TO DADU'S AS WELL.

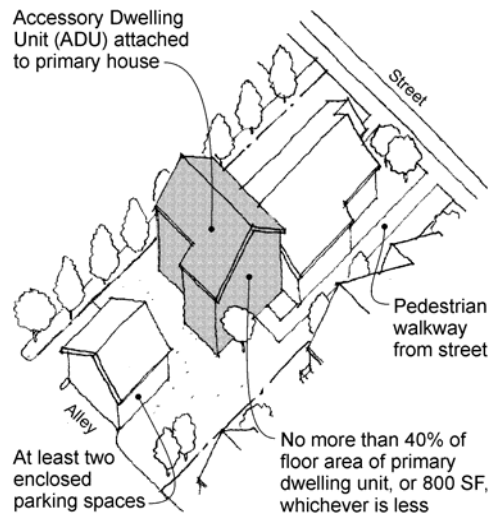


Figure G-6. Example of attached accessory dwelling unit.

- Accessory Dwelling Units shall not exceed 40 percent of the floor area of the primary dwelling unit or 800 square feet, whichever is less.
- At least two enclosed parking spaces are required on the property. WHILE ENCLOSED SPACES AREN'T REQUIRED FOR REGULAR SINGLE-FAMILY HOMES, THIS IS A REASONABLE REQUIREMENT AND HELPS REDUCE IMPACTS ASSOCIATED WITH AN ADU. THIS IS IN RESPONSE TO CONCERNS ABOUT THE CONVERSIONS OF EXISTING GARAGES.
- A pedestrian walkway from the street or alley to the primary entrance of an ADU shall be provided.
- No more than two bedrooms shall be located within the accessory dwelling unit.

- e. ADU entrances may not be visible from the street. Exception: Corner lots, where the primary house and ADU have entrances on opposite streets.
- f. The footprint of a detached accessory dwelling unit (DADU) shall not occupy more the 40 percent of the rear yard. THIS IS A COMMON REGULATION ON DADU'S IN OTHER COMMUNITIES TO RESTRICT HOW MUCH SPACE IN THE REAR YARD TO BE USED BY SUCH A STRUCTURE.
- g. The maximum height of a DADU shall be 25 feet. THIS ALLOWS FOR A 2-STORY BUILDING WITH A PITCHED ROOF – OR ONE FULL FLOOR OVER A GARAGE.
- h. Where access is from an alley, DADUs are permitted over a garage.

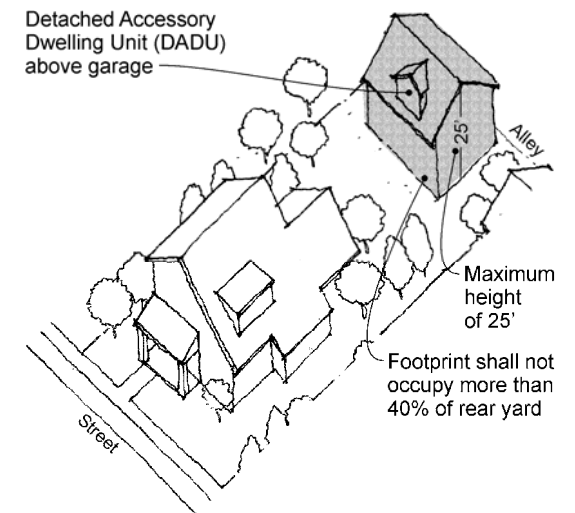


Figure G-7. Example of detached accessory dwelling unit.

G.4 Cottage Housing

Intent

- ◆ *To provide a housing type that responds to changing household sizes and ages (e.g., retirees, small families, single person households).*
- ◆ *To encourage creation of more usable open space for residents of the development through flexibility in density and lot standards.*
- ◆ *To ensure that the overall size, including bulk and mass of cottage structures and cottage housing developments, remain smaller and incur less visual impact than standard sized single-family dwellings, particularly given the allowed intensity of cottage dwellings.*
- ◆ *To provide centrally located and functional common open space that fosters a sense of community and a sense of openness in cottage housing developments.*
- ◆ *To provide private area around the individual dwellings to enable diversity in landscape design and foster a sense of ownership.*
- ◆ *To ensure minimal visual impact from vehicular use and storage areas for residents of the cottage housing development as well as adjacent properties, and to maintain a single-family character along public streets.*

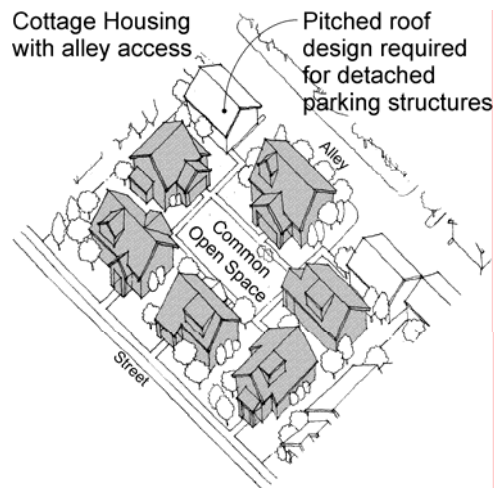
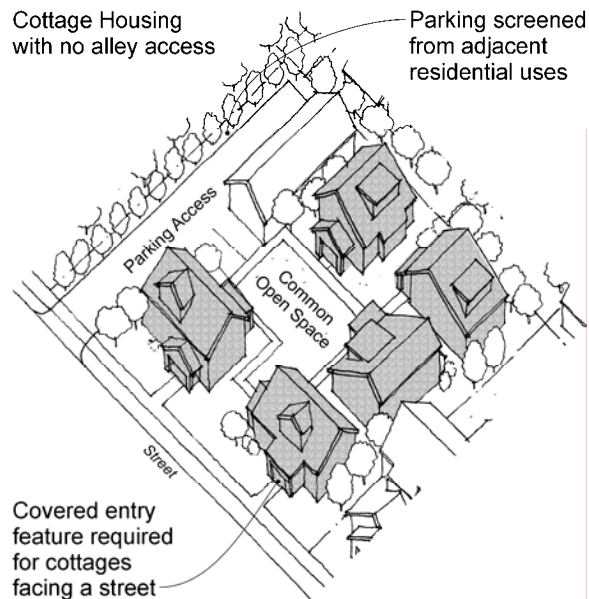
Standards

G.4.1 The dimensional standards for cottage housing shall be as identified in Table G-1.

Table G-1. Dimensional Standards for Cottage Housing

Standard	Requirement (Rationale/Discussion)
Maximum Floor Area	1,200SF (this is typical of other cottage housing ordinance)
Maximum Floor Area/Ground or Main Floor	800 SF
Maximum Impervious Surface Area	50% in districts where the max or avg density is 7,200 SF lots or larger; 60% in districts where the max or avg density is between 5,000 SF and 7,199SF lots; and 70% in districts where the max or avg density is smaller than 5,000 SF lots. (This is essentially the same standard as single-family detached)
Minimum Common Space (See Design Standards below for more info)	400 SF/unit (Shoreline requires only 250 SF)
Minimum Private Open Space (See Design Standards below for more info)	200 SF/unit (key design component of successful cottage housing developments)
Maximum Height for Cottages with Minimum Roof Slope of 6:12	25' (all parts of the roof above 18' shall be pitched) (this eliminates the possibility of skinny two story cottages packed onto a site)
Front, Side Yard Flanking Street, Side, and Rear Yards (to exterior property lines)	Same as Single-Family Detached
Minimum Distance Between Structures (Including accessory structures)	10'
Maximum Height for Cottages and Accessory Structures	18'
Minimum Parking Spaces per Cottage:	1.5

G. Single-Family/Duplex Developments



Figures G-8 and G-9. Examples of cottage housing development, with and without alley access.

G.4.2 Cottage housing developments shall contain a minimum of four and a maximum of 12 cottages located in a cluster to encourage a sense of community among the residents. A development site may contain more than one cottage housing development.

G.4.3 Common open space requirements:

- Shall abut at least 50 percent of the cottages in a cottage housing development
- Shall have cottages abutting on at least two sides.
- Cottages shall be oriented around and have the main entry from the common open space
- Cottages shall be within 60 feet walking distance of the common open space

G.4.4 Required private open space shall be adjacent to each dwelling unit, for the exclusive use of the cottage resident(s). The space shall be usable (*not on a steep slope*) and oriented toward the common open space as much as possible, with no dimension less than 10 feet.

G.4.5 Cottage facades facing the common open space or common pathway shall feature a roofed porch at least 80 square feet in size with a minimum dimension of 8 feet on any side.

G.4.6 Cottages located adjacent to a public street shall provide a covered entry feature (with a minimum dimension of 6 feet by 6 feet) facing the street. *(THIS IS USUALLY SECONDARY TO THE PORCH FACING THE COMMONS, BUT IT'S STILL IMPORANT – AND REASONABLE)*

G.4.7 Parking shall be:

- a. Located on the cottage housing development property.
- b. Screened from public streets and adjacent residential uses by landscaping or architectural screening.
- c. Located in clusters of not more than five adjoining spaces
- d. Prohibited in the front yard setback area.

G.4.8 A pitched roof design is required for all detached parking structures.



Figure G-10. Cottage housing example.

Definitions

(NOTE: MORE TO BE PROVIDED.)

Attached accessory dwelling unit (AADU). An accessory dwelling unit located within or attached to a single-family residence. To be considered attached, the roof and wall of the accessory dwelling unit shall be an extension of the roof and wall of the existing single-family residence., In no case shall the attachment be made through an unenclosed structure.

Bas-relief artwork.

Blank Walls. A wall (including building façades and other exterior building walls and retaining walls) is considered a blank wall if:

- a. A ground floor wall or portion of a ground floor wall over 4 feet in height has a horizontal length greater than 15 feet and does not include a window, door, building modulation or other architectural detailing; or
- b. Any portion of a ground floor wall having a surface area of 400 square feet or greater does not include a window, door, building modulation or other architectural detailing.

Cottage housing. Small single-family detached dwelling units arranged around a common open space.

Detached accessory dwelling unit (DADU). A detached accessory dwelling unit located on the same lot as a single-family detached dwelling unit.

Facade. The entire building front or street wall face of a building extending from the grade of the building to the top of the parapet or eaves and the entire width of the building elevation.

Freestanding sign. A sign attached to the ground by a sign structure and supported by uprights placed on or in the ground.

Internal roadways.

Landscaping. Any material used as a decorative feature, such as concrete bases, planter boxes, rockeries, driftwood, pole covers, decorative framing, and shrubbery or planting materials, used in conjunction with a sign, which expresses the theme of the sign but which does not contain advertising copy.

Marquee. A permanent structure attached to, supported by, and projecting from a building and providing protection from the weather elements, but which does not include a projecting roof. For purposes of the ordinance codified in this chapter, a freestanding, permanent, roof-like structure providing protection from the elements, such as a service station gas pump island, shall also be considered a marquee. The definition also includes an awning and a canopy.

Modified grid.

Pedestrian-oriented facades.

Pedestrian-oriented space.

Pedestrian-oriented streets.

Pedestrian-oriented uses.

Projecting sign. A sign which is attached to and projects more than one foot from a structure, building face, or marquee.

Readerboard. A sign face consisting of tracks to hold readily changeable letters allowing frequent changes of copy.

Responsible official.

Sign area. The entire area of a sign on which copy is to be placed. Only one side of a double-faced sign shall be included. Sign structure, architectural embellishments, framework, and decorative features that contain no written or advertising copy shall not be included. Sign area shall be calculated by measuring the area determined by the perimeter as previously defined in this section.

Sign height. The greater of:

- a. The vertical distance measured from the average finished elevation within the sign outline to the highest point of the sign, or
- b. The vertical distance measured from the highest point of the pre-existing natural elevation within the sign outline to the highest point of the sign.
- c. Notwithstanding any other provision in this chapter, no sign shall exceed 35 feet as measured from the lowest point of the pre-existing natural elevation within the sign outline to the highest point of the sign.

Storefront.

Through-block pathway.

Wall sign. A sign attached or erected parallel to and extending not more than one foot from the facade or face of any building to which it is attached and supported throughout its entire length, with the exposed face of the sign parallel to the plane of the wall or facade. Signs incorporated into mansard roofs, marquees or canopies shall be treated as wall signs.